





### Commercial, Industrial, Multi-Family, & Public Facility

- Open Space requirements to be the same as current code standards
  - Commercial 10%, Industrial 5 %, Public Facility 15%, MF 20 to 25%
- Turf area not to exceed 15% of the total landscaped area, outside of active recreation areas
- Park Strips Less than 8' Wide
  - No turf
  - Option to install just mulch allowed (no plant material)
  - Hardscape not to exceed 50% of park strip area, unless otherwise required by city code
- Plant Count Requirements and Ground Plane Coverage
  - Commercial, Multi-Family, & Public Facility: <del>1 tree/500 sf, 1 shrub/300 sf</del>-1 tree/400 sf, 1 shrub/200 sf
  - Industrial: To remain 1 tree/1,000 sf and 1 shrub/600 sf (recent amendment from 2021)
  - Ground Plane Coverage: at least 50% (Evergreen trees, shrubs, ornamental grasses, perennials, turf grass)
    - Canopies of deciduous trees not calculated into ground plan coverage

Mulch: non-turf areas to be covered with 3" minimum mulch layer to prevent weeds

### Commercial, Industrial, Multi-Family, & Public Facility



Sandridge Townhomes



South Clearfield Elementary



### Commercial, Industrial, Multi-Family, & Public Facility

- Plant Material Size at Installation
  - Deciduous Trees- 2" caliper measured 8" above the soil line (same as current code)
  - Evergreen Trees- minimum height of 6' (same as current code)
  - o Shrubs- 3 gallon minimum
  - Ornamental grasses and perennials- 1 gallon minimum
  - Groundcover- minimum height of 3 inches
- Plan Review, Construction Inspection, Post-Construction Monitoring
  - A copy of a landscape and irrigation plan shall be submitted to city for review and approval. List of what shall be included on the plans is detailed in the ordinance.
  - Site inspection may be performed by city during construction.
  - After installation and prior to occupancy, inspection required to verify compliance with the approved landscape plans.

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### Single-Family Residential

 Intent is to establish an ordinance that will make significant progress toward water conservation in single-family developments. Recognizing the unique challenges that would come with the enforcement of new regulations, a single-family exemption for landscapes installed by homeowner/residents is provided.

### Planned Single-Family Residential Developments and Model Homes

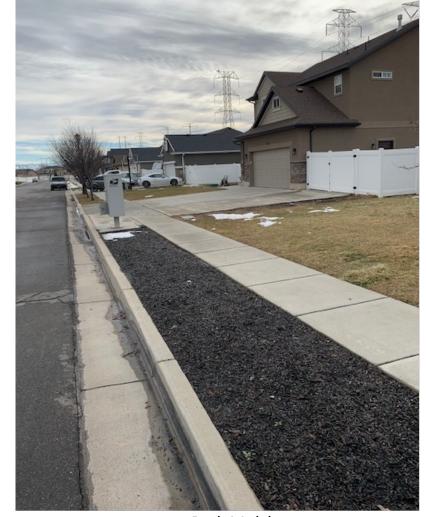
- All requirements of the Water-Efficient Landscape Design Standards shall apply. Planned Single-Family Residential Developments require development agreements, at which point landscape plans can be reviewed for compliance.
- Any developments with the potential for Model Homes will be going through the subdivison process. Staff can communicate the landscaping requirements for any Model Homes that the developer may build.

### Single-Family Standards

- Park strip standards apply to all new and fully rehabilitated single-family. No exemption
- o Park strips less than 8' wide not to have turf
- Option for just mulch in park strips allowed (no plant material)
- Hardscape in park strip to cover no more than 25% of park strip area
- Turf area not to exceed 35% of the total landscaped area or 250 square feet, whichever is greater
- Mulch: 3" layer required to inhibit weeds

### Single-Family





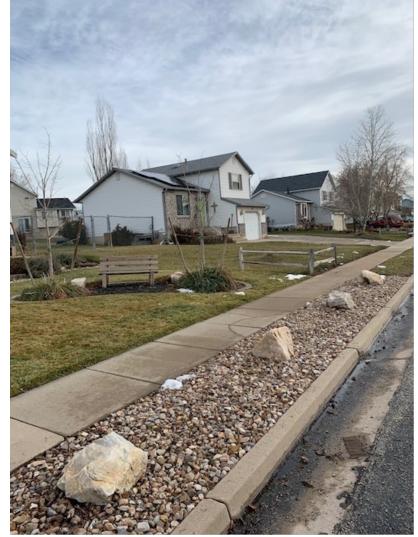
Rock Mulch

Bark Mulch

### Single-Family



Rock Mulch with Plant Material



Rock Mulch with Decorative Boulders

### Single-Family



Hardscape with Planter Areas



All Hardscape





### Completion of Improvements

- Timeframes to remain the same as current code
  - Nonresidential: landscape installed prior to occupancy, or in inclement weather, 6 months from the date of initial occupancy
  - Multifamily: Same as nonresidential
  - Single Family: Front and side yards installed within 12 months of initial occupancy.
    Rear yard landscaped within 18 months of initial occupancy

### Bond/Escrow

- In cases of inclement weather, landscape bond required if occupancy to be granted before landscape installation
- Amount to be 125%110% of estimated cost (consistent with public improvement escrows)
- Survivability Guarantee: Current code has the city hold 25% of the estimated cost of improvements for 1 year after installation to guarantee plant material survival. (Staff proposes removing the guarantee to be consistent with landscape installations done without inclement weather bonding)

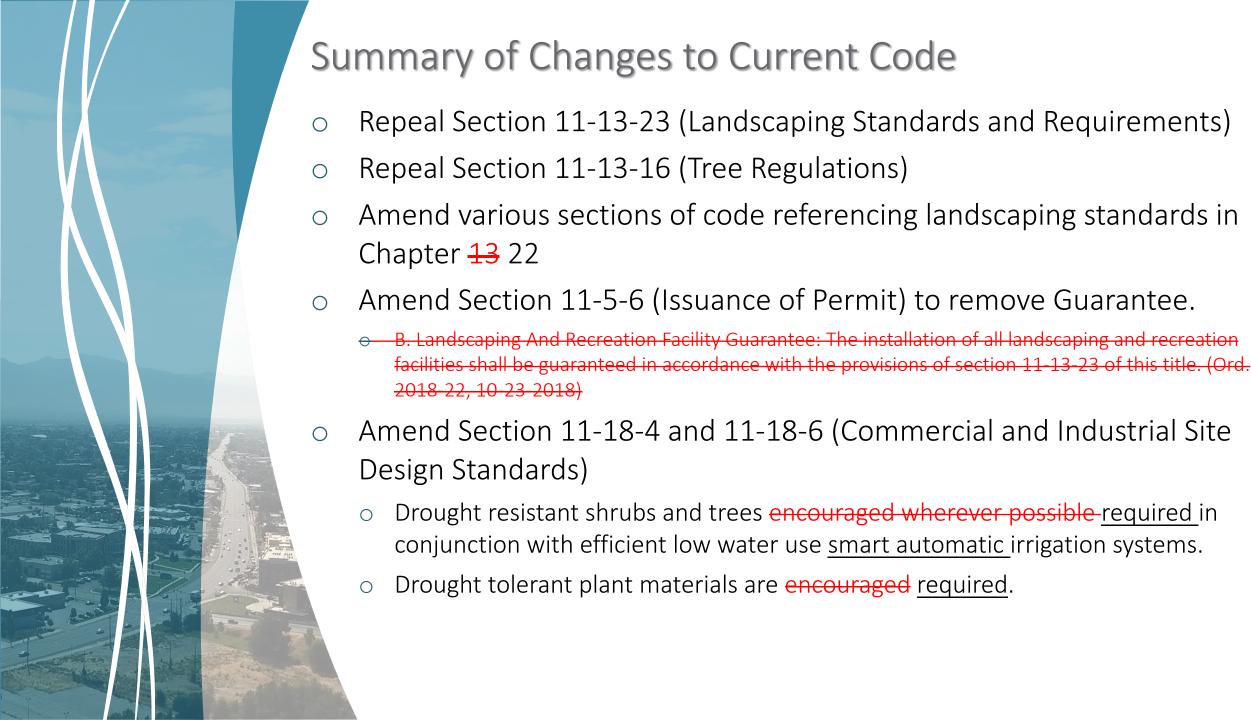


# Waste of Water

### Supplementary Standards

- Current code regulations in Supplementary Standards to carry over
  - Fee in Lieu of Open Space
  - Modification of required landscaped open space
  - Preservation, Maintenance, and Ownership

Regardless of age of development, waste of water prohibited



# Zoning Ordinance Text Amendment

|    | Review Consideration  | Staff Analysis  |
|----|---|---|
| 1) | The proposed amendment is in accordance with the General Plan and Map; or                       | The proposed amendments are in accordance with the General Plan which encourages the preservation of the natural resources of the community.          |
| 2) | Changed conditions make the proposed amendment necessary to fulfill the purposes of this Title. | With changes related to population growth, water supply, and drought, the proposed ordinance changes are necessary to provide support for this Title. |

# Staff Recommendation/Findings & Conclusion

Staff recommends that the Planning Commission forward a recommendation of APPROVAL for ZTA 2022-010046 to the City Council, a zoning text amendment to adopt a water-efficient landscape ordinance. Staff's recommendation is based upon a review of the existing and proposed ordinance standards with following findings:

- 1. Clearfield City should be continually working to help with the regions efforts to use water resources efficiently and plan for future growth.
- 2. The proposed changes would benefit Clearfield residents by allowing participation in Weber Basin's "flip your strip" rebate program.
- 3. The proposed changes encourage the beautification of outdoor spaces and landscapes while supporting water conservation measures.

## Planning Commission Recommendation

- 1. Move to recommend approval of ZTA 2022-010046 to the City Council, a zoning text amendment to adopt a water-efficient landscape ordinance.
- 2. Move to recommend denial of ZTA 2022-010046 to the City Council, a zoning text amendment to adopt a water-efficient landscape ordinance.
- 3. Move to table ZTA 2022-010046 to request additional information for consideration.

The Planning Commission may also make a recommendation that is different than those listed above such as a modified recommendation of approval.

